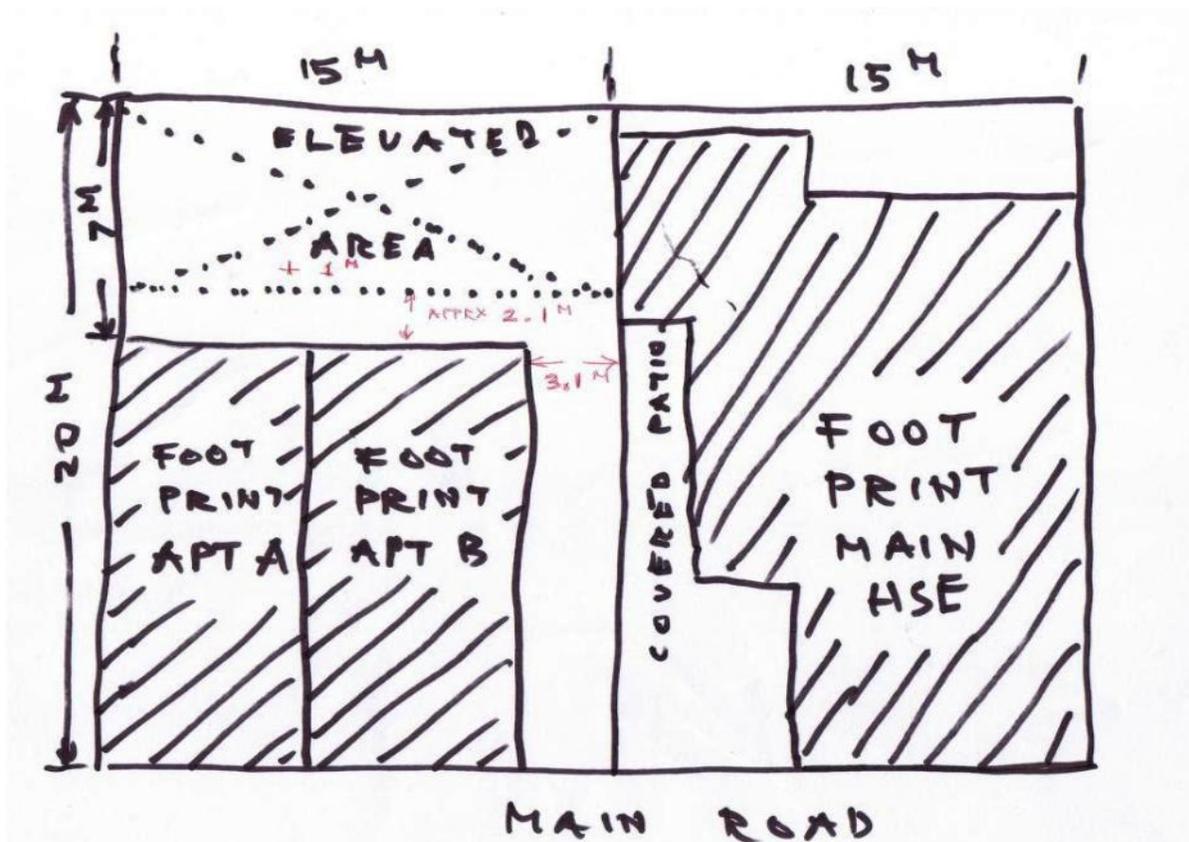


PICTORIAL DEVELOPMENT - BUILDING A METAL HOUSE



Bird's eye view of two 300 sqm lots, Apts & Main house



Sketch of foot prints of existing structures on lots



Breaking the wall for driveway, 5 Apr 2015



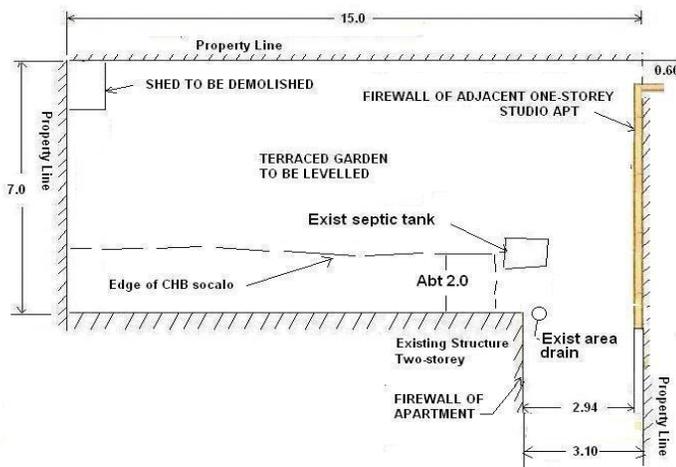
View from the inside, with Ma's garden on right



The finished driveway with new gate, 10 days later. Ma's garden is basically untouched. No wall on left side property line will be built while Ma is still occupying the big house. This will allow her access to her "extended" patio, and garden, laundry drying area.



Driveway with safety rails, and car testing the driveway. That's me, and gen-set taken from shed at backlot (see below), to be shipped to Tanjay to be put to better use.



Sketch of existing structures on back lot. Backfence is adjacent to the Rockwell Compound.



Back lot in 2007, just starting to be landscaped



Backlot in mid April, with trees being cut and cleared. Shed at back that housed gen-set, to be demolished. Laundry drying lines for apartments and Ma (beside Studio) will be retained but reworked.

Backlot almost leveled out 17 Apr 2015.. Surface of new retaining wall and all exiting walls to be smooth-surfaced (palitada). Contractor will pour reinforced concrete slab with rebars and pier foundations, with sewer lines set in place.

All the above work was accomplished by Nonie and three helpers starting after Holy Week Apr 6 up to Apr 28 when palitada of walls was completed and slab contractor said he would take over doing the final leveling and pouring of slab once the building permits are issued. Plans were submitted 2 weeks ago. We expect building permits in 10 days. In the meantime, all pre-fab components are being manufactured in Korea with promised delivery in 45 days. Once on site, contractor will assemble everything in 2 weeks.

So hopefully, it will be livable by early July. It will be fully air-conditioned. Cost is about P1.2M, which is relatively cheap as a typical conventionally built bungalow of same size would cost perhaps double.

The house will mostly remain locked and un-occupied when we are in Tanjay. However, we foresee longer and more frequent visits to Makati since it will be more comfortable than Ma's single guest room and we can entertain friends and relatives more freely. We will pay one of Ma's help to watch/maintain it.

Even when we are not in Makati, the house will be available to visiting close relatives.

When we are gone, you three kids will eventually arrange among yourselves the disposition of this house and 2 apts.

TABLE OF CONTENTS		PROJECT NO. 0104903
ARCHITECTURAL		OWNER: MR. FERNANDO GIL & MRS. FELISA GIL
A-1	PROPOSED DEVELOPMENT PLAN	LAND USE AND ZONING
A-2	PROPOSED FLOOR PLAN	
A-3	PROPOSED SECTION	LINE AND GRADE
A-3	PROPOSED ELEVATION	ARCHITECTURAL
A-3	PROPOSED ELECTRICAL PLAN	STRUCTURAL
A-3	PROPOSED MECHANICAL PLAN	SANITARY
A-3	PROPOSED SANITARY PLAN	ELECTRICAL
A-3	PROPOSED MECHANICAL PLAN	MECHANICAL

**PERSPECTIVE**

**THE SITE**

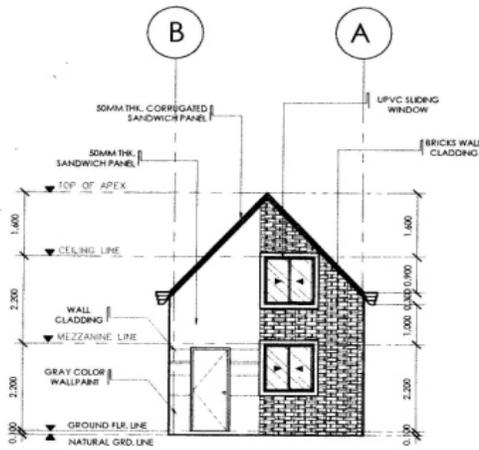
**VICINITY MAP**

**SITE DEVELOPMENT PLAN**

PROJECT NO. 0104903	PROJECT TITLE: PROPOSED ONE STOREY RESIDENCE	APPROVED BY: MR. FERNANDO GIL & MRS. FELISA GIL	DATE: 01-09-2015	SHEET NO. 1
ISSUED BY: ARCHITECT	LOCATION: LOT 12, BLK. A PALMA ST., WEST POBORAON SANAGAYON	OWNER: MR. FERNANDO GIL & MRS. FELISA GIL	DATE: 01-09-2015	A 3

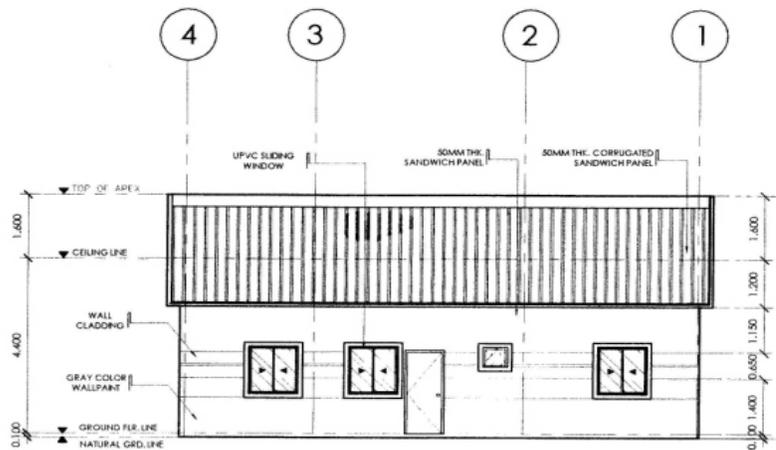
**Architect's rendition of the house. More drawings and sketches below**

Basically, a container-like, built-to-order metal house, deluxe style, with double metal walls and A-frame roof panels comprised of rigid insulation sandwich, and doors, windows and assembly components all pre-fabricated in Korea. Total floor area about 65 sqm, or 700 sqft. Entire house will be cooled by high efficiency split-type, inverter air-dons.



**FRONT ELEVATION**

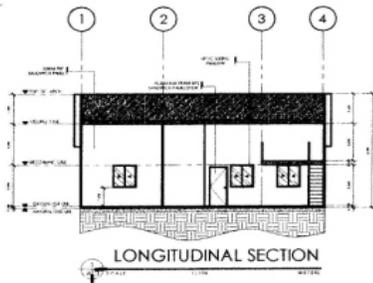
SCALE 1:100 METERS



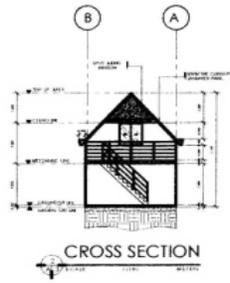
**RIGHT SIDE ELEVATION**

SCALE 1:100 METERS

JOHN MELVIC S. GRAVE	PRC NO: 0104903	PROJECT TITLE:
	PTR NO: 8254996	PROPOSED ONE STOREY R
ENGINEER	ISSUED ON: 01-05-2015	
	ISSUED AT: MARINDUQUE	



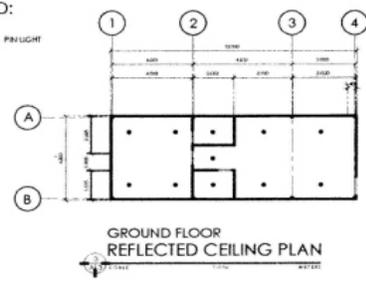
**LONGITUDINAL SECTION**



**CROSS SECTION**

**LEGEND:**

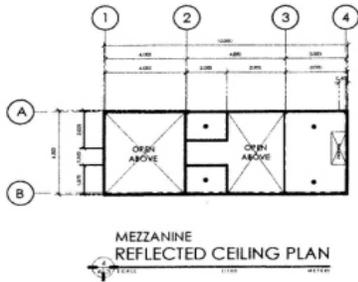
● FIN LIGHT



**GROUND FLOOR REFLECTED CEILING PLAN**

**LEGEND:**

● FIN LIGHT



**MEZZANINE REFLECTED CEILING PLAN**

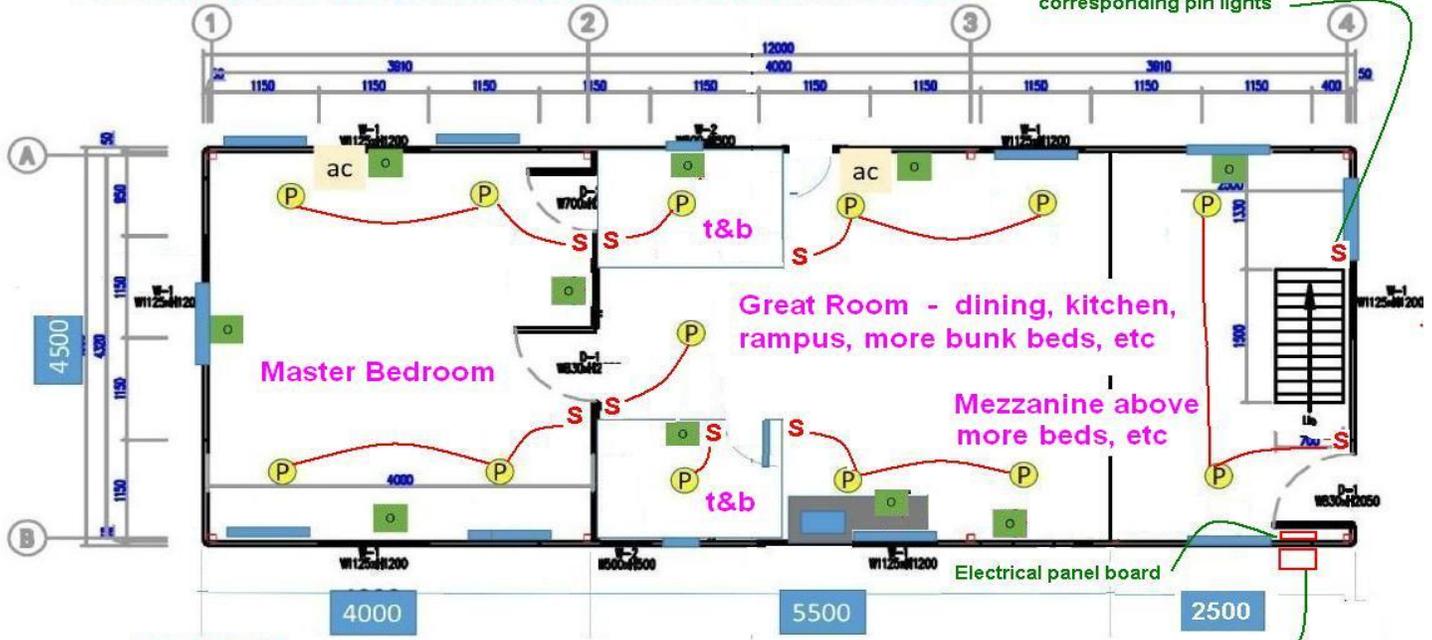
(D01)		(D02)		(D03)	
SPECIFICATION	EPS SANDWICH PANEL W/ ALUMINIUM FRAMING	EPS SANDWICH PANEL W/ ALUMINIUM FRAMING	EPS SANDWICH PANEL W/ ALUMINIUM FRAMING	PVC FRAME DOOR WINDOW	T & R
LOCATION	ENTRANCE / FRONT	REAR / BEDROOM	REAR / BEDROOM	T & R	T & R
N.O. OF SETS	(1) ONE SET	(2) TWO SETS	(2) TWO SETS	(2) TWO SETS	(2) TWO SETS
(W01)		(W02)			
SPECIFICATION	UPVC SLIDING WINDOW	UPVC FRAME AWNING WINDOW			
LOCATION	ENTRANCE / ALL SETS	T & R			
N.O. OF SETS	(10) TEN SETS	(2) TWO SETS			

**DOORS AND WINDOWS SCHEDULE**

JOHN MELVIC S. GRAVE	PRC NO: 0104903	PROJECT TITLE:	APPROVED BY:	REMARKS/REVISIONS:	SHEET NO.:
	PTR NO: 8254996	PROPOSED ONE STOREY RESIDENCE	MR. FERNANDO GIL & MRS. FELISA GIL	OWNER	A 3
ENGINEER	ISSUED ON: 01-05-2015	LOCATION: LOT 13, BLK. 4, PALMA ST., BRGY. POBLACION MARINDUQUE			3
	ISSUED AT: MARINDUQUE				

NOTE: Original floor plan came from Gary So. The only changes made and already transmitted before were relocation of one window to above kitchen counter, and relocation of two electrical outlets.

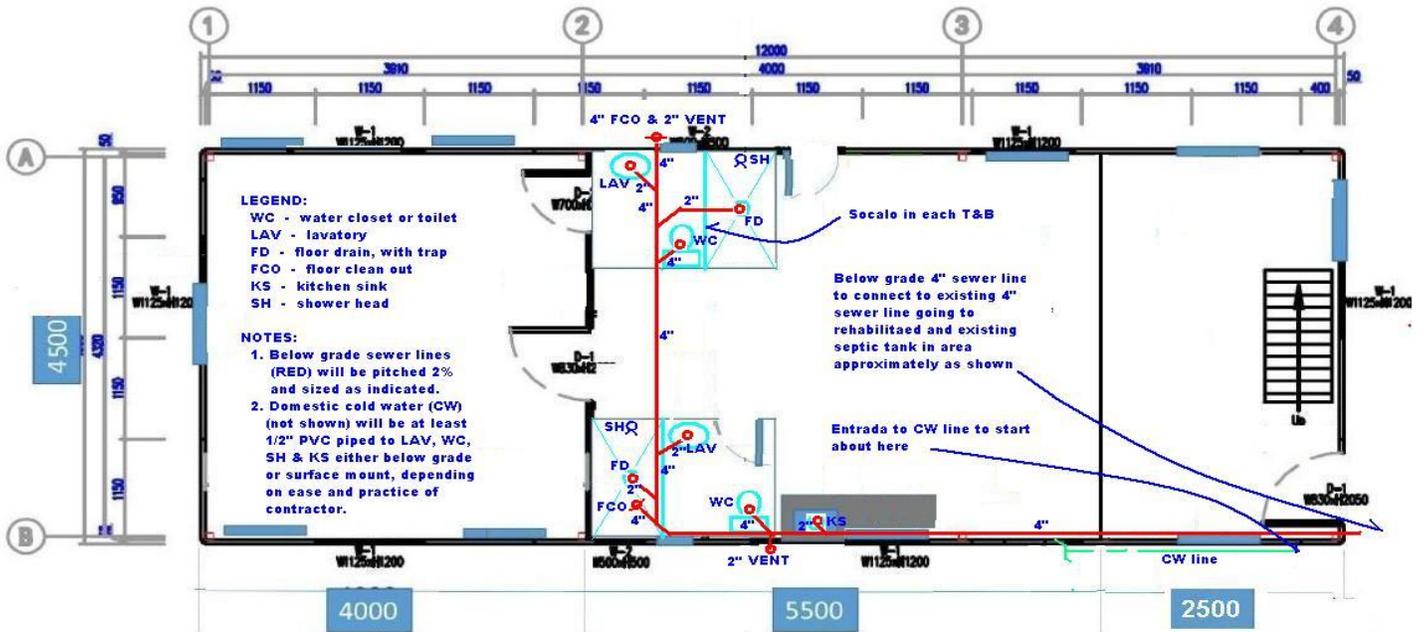
Switch on mezzanine for corresponding pin lights



**LATEST NOTES:**

- S symbol is for light switch with home runs to pin lights.
- There may be a few more switches but home runs are shorter.
- There should be provision for 3rd HD outlet for future mezzanine a/c

Ground Floor



Ground Floor